


PLAN OF SUBDIVISION			EDITION 1	PS921377P
LOCATION OF LAND			CASEY CITY COUNCIL	
PARISH:	CRANBOURNE			
TOWNSHIP:	—			
SECTION:	—			
CROWN ALLOTMENT:	54 (PART)			
CROWN PORTION:	—			
TITLE REFERENCE:	VOL. FOL.			
LAST PLAN REFERENCE:	PS913549G (LOT H)			
POSTAL ADDRESS: (at time of subdivision)	40S TUCKERS ROAD CLYDE 3978			
MGA CO-ORDINATES: (of approx centre of land in plan)	E: 355 500 N: 5 778 300	ZONE: 55 GDA 2020		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1 TO 2900 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5. OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE DRAINAGE EASEMENT CREATED AS E-4 AND E-5 ON PS912247E CONTAINED WITHIN CORNSILK DRIVE AND ERNSTBROOK DRIVE ON THIS PLAN TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-1 ON PS908383U AND SHOWN AS E-1 AND E-5 ON PS912247E CONTAINED WITHIN ERNSTBROOK DRIVE ON THIS PLAN GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988)	
ROAD R1 RESERVE No.1	CASEY CITY COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS				
DEPTH LIMITATION: DOES NOT APPLY				
This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. PA22-0318 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). CRANBOURNE 103, 1661, 1750, 1752, 1772 & 1773 AND SHERWOOD No. 52 & 62 In Proclaimed Survey Area No. 71				
Estate: Riverfield Square Phase No.: 29 No. of Lots: 34 + Lot M PHASE AREA: 2.101ha				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement R - Encumbering Easement (Road)				
EASEMENTS AND RIGHTS IMPLIED UNDER SECTION 12(2) OF THE SUBDIVISION ACT FOR SUPPORT PURPOSES THROUGH A RETAINING WALL AFFECT LOTS 2912, 2913, 2923 AND 2924.				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	SEWERAGE	SEE DIAG.	PS908383U	SOUTH EAST WATER CORPORATION
E-3	SEWERAGE	2.50	PS912247E	SOUTH EAST WATER CORPORATION
E-4, E-7	DRAINAGE	SEE DIAG.	PS919003W	CASEY CITY COUNCIL
E-5, E-7	SEWERAGE	2.50	THIS PLAN	SOUTH EAST WATER CORPORATION
E-6	WATER SUPPLY (THROUGH UNDERGROUND PIPES)	6	PS908383U	SOUTH EAST WATER CORPORATION
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au			SURVEYORS FILE REF: 2101578/29 2101578-29-PS-V3.DWG	ORIGINAL SHEET SIZE: A3 SHEET 1 OF 5
			LICENSED SURVEYOR: ADRIAN FREEMAN VERSION 3, DATE: 24/05/2024	

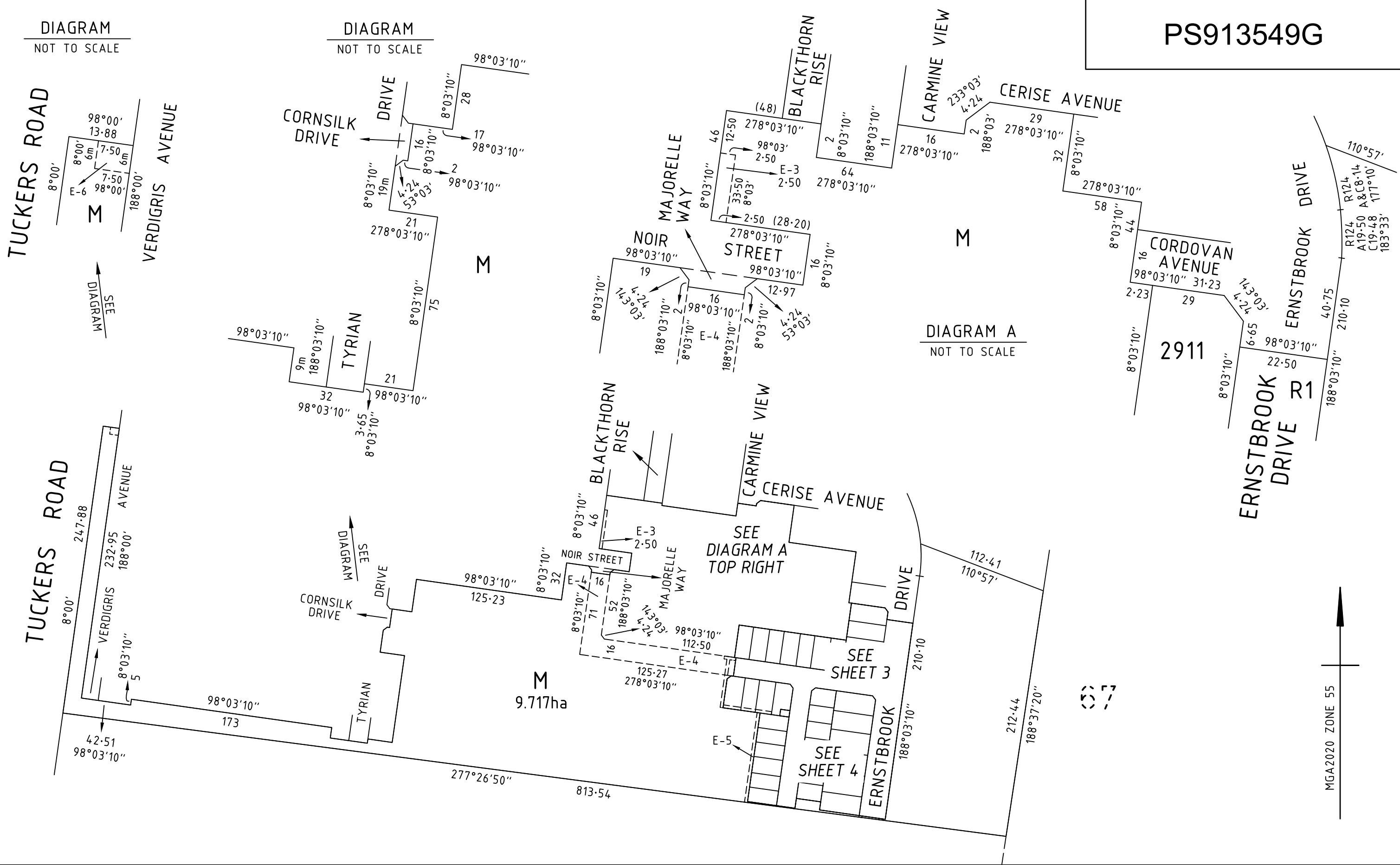
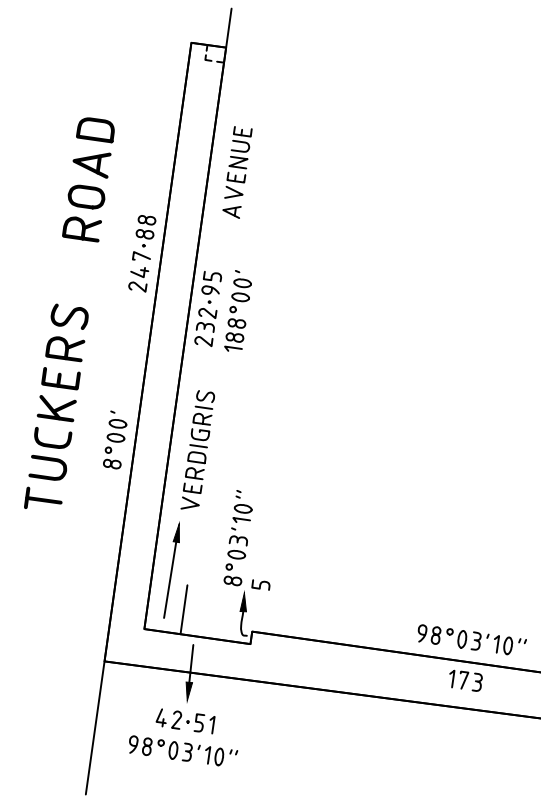
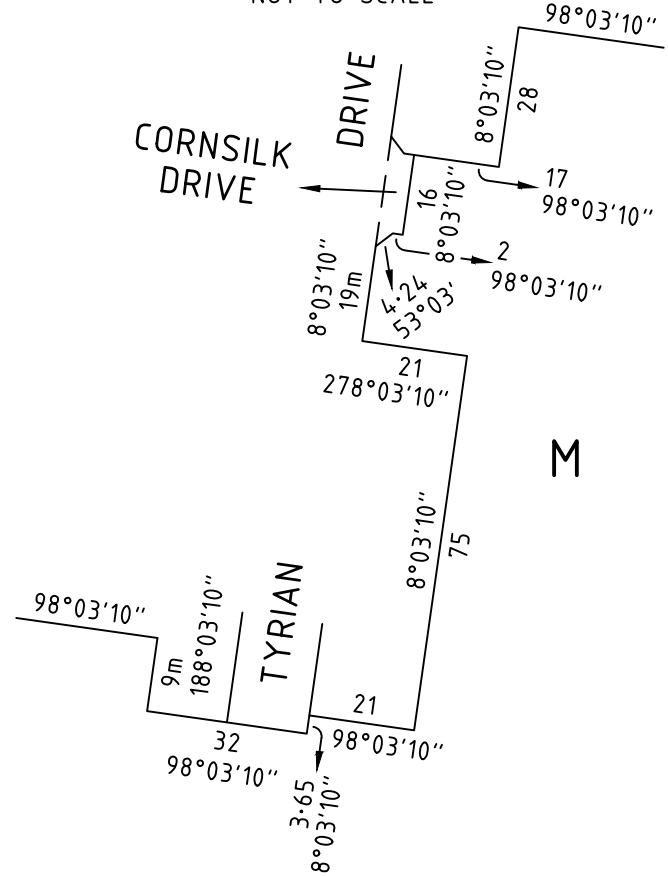
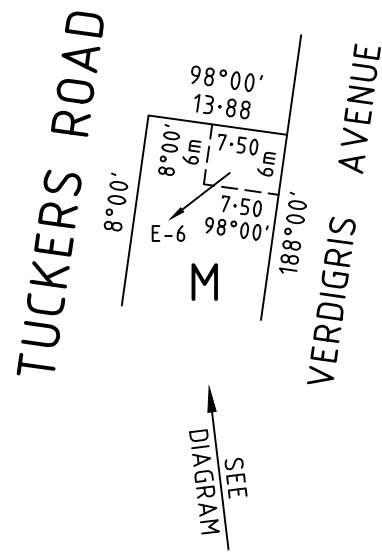


DIAGRAM NOT TO SCALE

DIAGRAM NOT TO SCALE

DIAGRAM A NOT TO SCALE



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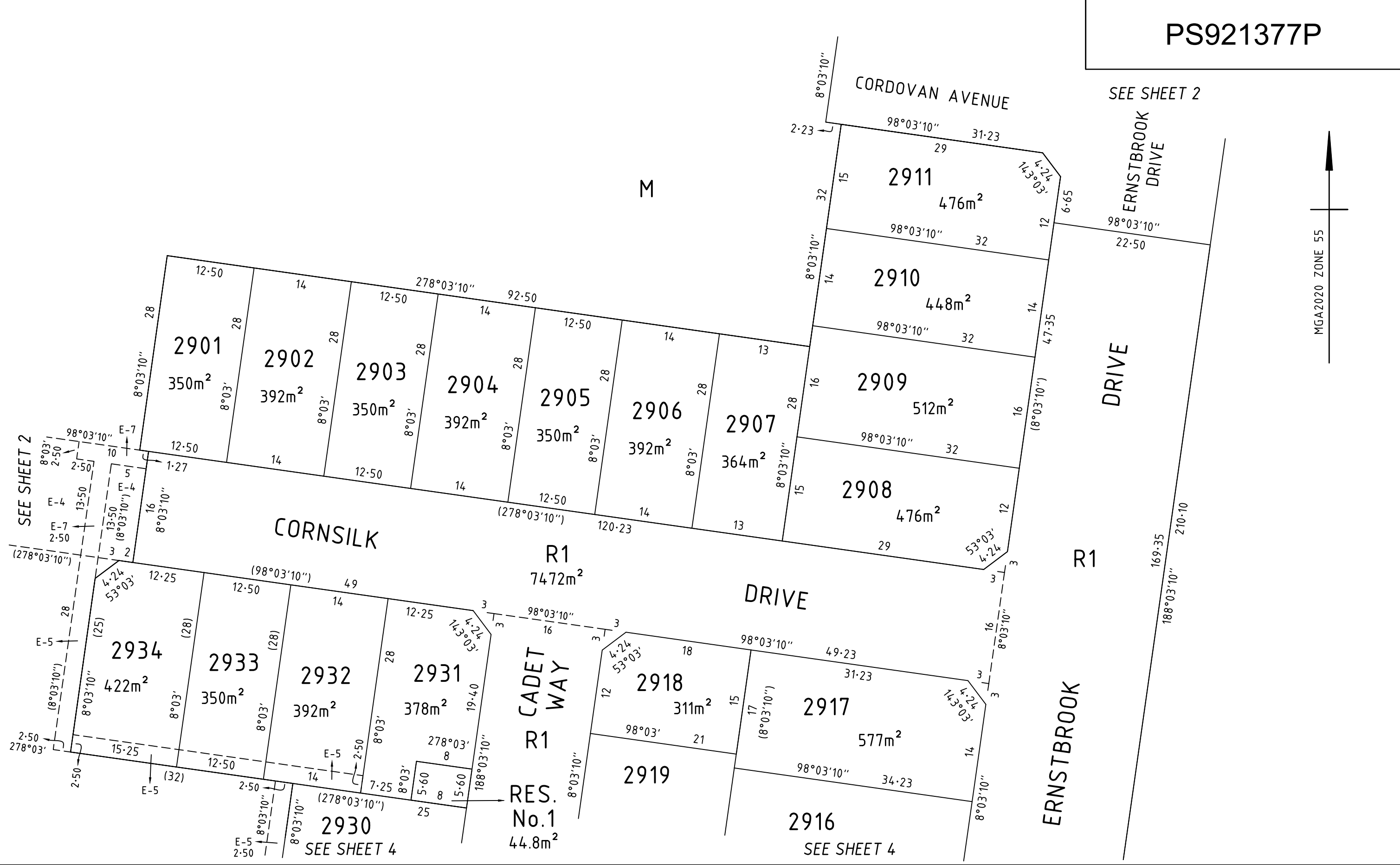
SURVEYORS REFERENCE
 2101578/29

SCALE 1 : 3000
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 LENGTHS ARE IN METRES

LICENSED SURVEYOR: ADRIAN FREEMAN
 VERSION 3, DATE: 24/05/2024

ORIGINAL SHEET SIZE: A3
 SHEET 2

SEE SHEET 2

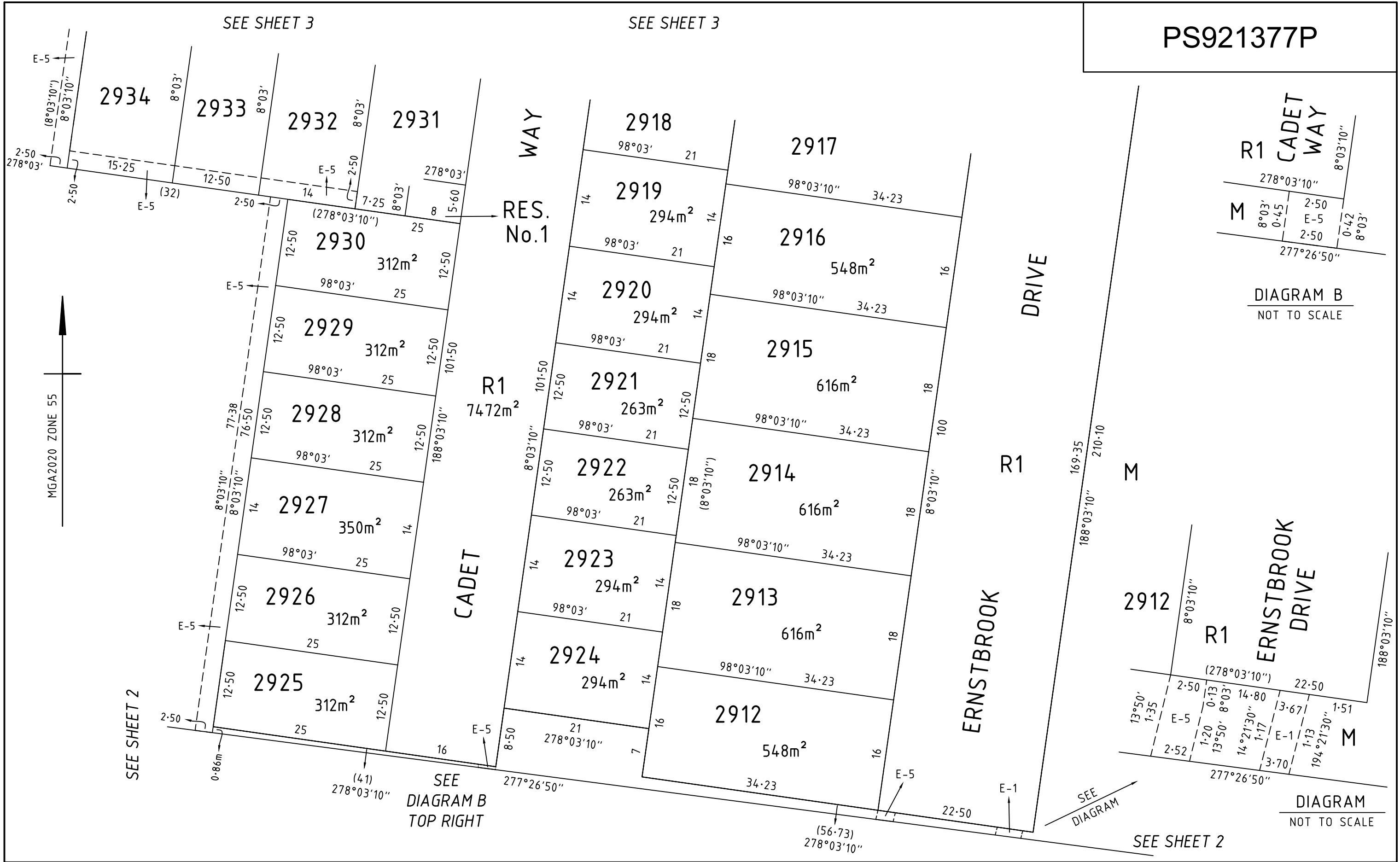


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SURVEYORS REFERENCE	2101578/29
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SCALE 1 : 500	 LENGTHS ARE IN METRES
LICENSED SURVEYOR: ADRIAN FREEMAN VERSION 3, DATE: 24/05/2024	

ORIGINAL SHEET SIZE: A3	SHEET 3
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SURVEYORS REFERENCE
 2101578/29

SCALE 1 : 500
 5 0 5 10 15 20
 LENGTHS ARE IN METRES

LICENSED SURVEYOR: ADRIAN FREEMAN
 VERSION 3, DATE: 24/05/2024

ORIGINAL SHEET SIZE: A3

SHEET 4

CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 2901 TO 2907 (BOTH INCLUSIVE) AND 2918 TO 2934 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 2901 TO 2907 (BOTH INCLUSIVE) AND 2918 TO 2934 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, STRUCTURE OR FENCE OTHER THAN A BUILDING, STRUCTURE OR FENCE IN ACCORDANCE WITH THE LATEST COPY OF THE RIVERFIELD DESIGN GUIDELINES (INCLUDING ANY AMENDMENTS FROM TIME TO TIME) ENDORSED BY THE CASEY CITY COUNCIL UNDER PLANNING PERMIT No. PA22-0318;
- 2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OUTSIDE A BUILDING ENVELOPE APPLIED TO A LOT ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA22-0318 UNLESS ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE PERMITTED IN ACCORDANCE WITH THE LATEST RIVERFIELD DESIGN GUIDELINES DETAILED IN CONDITION 1.

A COPY OF THE ENDORSED RIVERFIELD DESIGN GUIDELINES AND BUILDING ENVELOPES ARE AVAILABLE AT: www.ngdd.com.au

VARIATION:

ANY VARIATION TO THE ENDORSED BUILDING ENVELOPE PLAN OR CONSENT TO BUILD OUTSIDE THE ENDORSED BUILDING ENVELOPE PLAN FOR CONDITION 2 OF RESTRICTION 'A' WHERE ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE NOT PERMITTED BY THE LATEST ENDORSED COPY OF THE RIVERFIELD DESIGN GUIDELINES WILL REQUIRE APPROVAL FROM THE CASEY CITY COUNCIL AND RIVERFIELD DESIGN ASSESSMENT PANEL.

EXPIRY DATE:

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 2908 TO 2917 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 2908 TO 2917 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, STRUCTURE OR FENCE OTHER THAN A BUILDING, STRUCTURE OR FENCE IN ACCORDANCE WITH THE LATEST COPY OF THE RIVERFIELD 'PREMIUM' DESIGN GUIDELINES (INCLUDING ANY AMENDMENTS FROM TIME TO TIME) ENDORSED BY THE CASEY CITY COUNCIL UNDER PLANNING PERMIT No. PA22-0318;
- 2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OUTSIDE A BUILDING ENVELOPE APPLIED TO A LOT ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA22-0318 UNLESS ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE PERMITTED IN ACCORDANCE WITH THE LATEST RIVERFIELD 'PREMIUM' DESIGN GUIDELINES DETAILED IN CONDITION 1.

A COPY OF THE ENDORSED RIVERFIELD 'PREMIUM' DESIGN GUIDELINES AND BUILDING ENVELOPES ARE AVAILABLE AT: www.ngdd.com.au

VARIATION:

ANY VARIATION TO THE ENDORSED BUILDING ENVELOPE PLAN OR CONSENT TO BUILD OUTSIDE THE ENDORSED BUILDING ENVELOPE PLAN FOR CONDITION 2 OF RESTRICTION 'A' WHERE ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE NOT PERMITTED BY THE LATEST ENDORSED COPY OF THE RIVERFIELD 'PREMIUM' DESIGN GUIDELINES WILL REQUIRE APPROVAL FROM THE CASEY CITY COUNCIL AND RIVERFIELD DESIGN ASSESSMENT PANEL.

EXPIRY DATE:

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'C'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.


LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 2908 TO 2917 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 2908 TO 2917 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED A DWELLING THAT IS LESS THAN TWO STOREYS IN HEIGHT WHERE A LOT IS IDENTIFIED AS DOUBLE STOREY  ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA22-0318.

VARIATION:

CONSENT TO VARY CONDITION 1) OF RESTRICTION 'B' WILL REQUIRE APPROVAL FROM THE RIVERFIELD DESIGN ASSESSMENT PANEL.

EXPIRY DATE:

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'D'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 2919 TO 2924 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 2919 TO 2924 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN OF SUBDIVISION SHALL NOT AT ANY TIME ON THE SAID LOT OR ANY PARTS THEREOF:

- 1) CONSTRUCT OR EXTEND ANY DWELLING OR ALLOW THE CONSTRUCTION OR EXTENSION OF ANY DWELLING THAT DOES NOT COMPLY WITH "TYPE A" OF THE SMALL LOT HOUSING CODE AS INCORPORATED INTO THE CASEY PLANNING SCHEME UNLESS THE CONSTRUCTION OR EXTENSION OF ANY DWELLING HAS BEEN APPROVED BY THE RESPONSIBLE AUTHORITY UNDER THE RELEVANT PLANNING REGULATIONS.

EXPIRY DATE:

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.