

PLAN OF SUBDIVISION	EDITION 1	PS913549G
----------------------------	-----------	------------------

LOCATION OF LAND PARISH: CRANBOURNE TOWNSHIP: — SECTION: — CROWN ALLOTMENT: 54 (PART) CROWN PORTION: — TITLE REFERENCE: VOL. FOL. LAST PLAN REFERENCE: PS912249A (LOT G) POSTAL ADDRESS: 40S TUCKERS ROAD (at time of subdivision) CLYDE 3978 MGA CO-ORDINATES: E: 355 475 ZONE: 55 (of approx centre of land N: 5 778 540 GDA 2020 in plan)	CASEY CITY COUNCIL
--	--------------------

VESTING OF ROADS AND/OR RESERVES	NOTATIONS
---	------------------

IDENTIFIER	COUNCIL/BODY/PERSON	LOTS 1 TO 2500 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 6.
ROAD R1 RESERVE No.1 RESERVE No.2 RESERVE No.3	CASEY CITY COUNCIL CASEY CITY COUNCIL CASEY CITY COUNCIL MELBOURNE WATER CORPORATION	

NOTATIONS	
------------------	--

DEPTH LIMITATION: DOES NOT APPLY

This is a SPEAR plan.

STAGING:
This is not a staged subdivision.
Planning Permit No. PA22-0318

SURVEY:
This plan is based on survey.
This survey has been connected to permanent marks No(s). CRANBOURNE 103, 1661, 1750, 1752, 1772 & 1773 AND SHERWOOD No. 52 & 62
In Proclaimed Survey Area No. 71

Estate: Riverfield Square
Phase No.: 25
No. of Lots: 27 + Lot H
Phase Area: 4.876ha

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement R - Encumbering Easement (Road)

EASEMENTS AND RIGHTS IMPLIED UNDER SECTION 12(2) OF THE SUBDIVISION ACT FOR SUPPORT PURPOSES THROUGH A RETAINING WALL AFFECT LOTS 2501, 2507 TO 2511 (BOTH INCLUSIVE), 2513, 2514, 2520 AND 2522.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-2	SEWERAGE	2.50	PS908386N	SOUTH EAST WATER CORPORATION
E-3	SEWERAGE	SEE DIAG.	PS912247E	SOUTH EAST WATER CORPORATION
E-4, E-5	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-5	DRAINAGE	SEE DIAG.	THIS PLAN	CITY OF CASEY
E-6	WATER SUPPLY (THROUGH UNDERGROUND PIPES)	6	PS908383U	SOUTH EAST WATER CORPORATION

Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS FILE REF: 2101578/25 2101578-25-PS-V6.DWG	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 6
	LICENSED SURVEYOR: ADRIAN FREEMAN VERSION 6, DATE: 24/08/2023		

DIAGRAM NOT TO SCALE

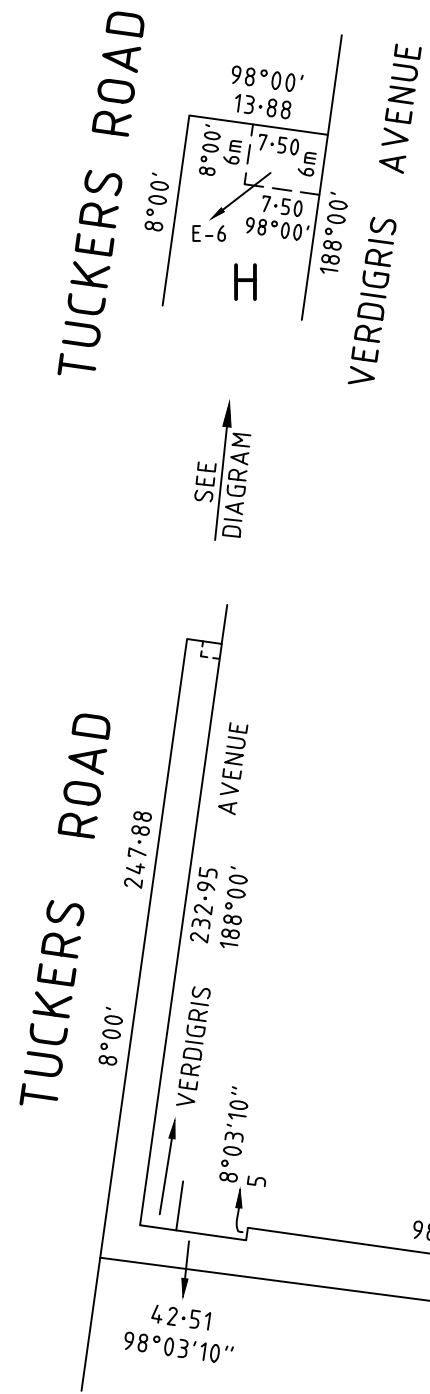
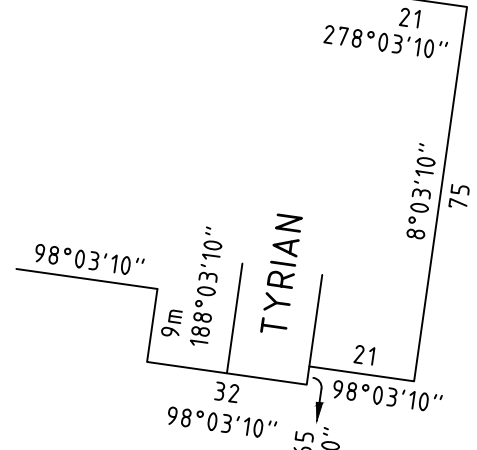
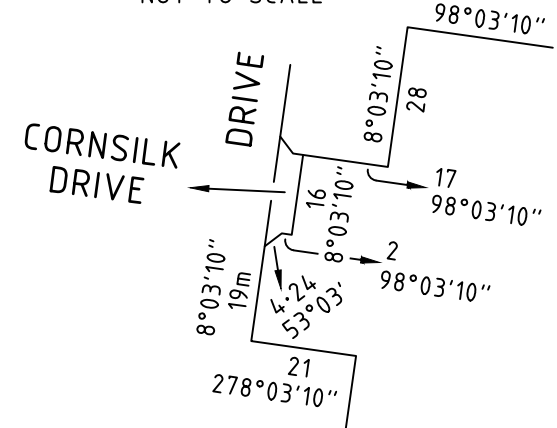


DIAGRAM NOT TO SCALE



RES. No.1 1999m²

FOUNDATION AVENUE

ERNSTBROOK DRIVE

CERULEAN PROMENADE

SEE SHEET 3

SEE SHEET 4

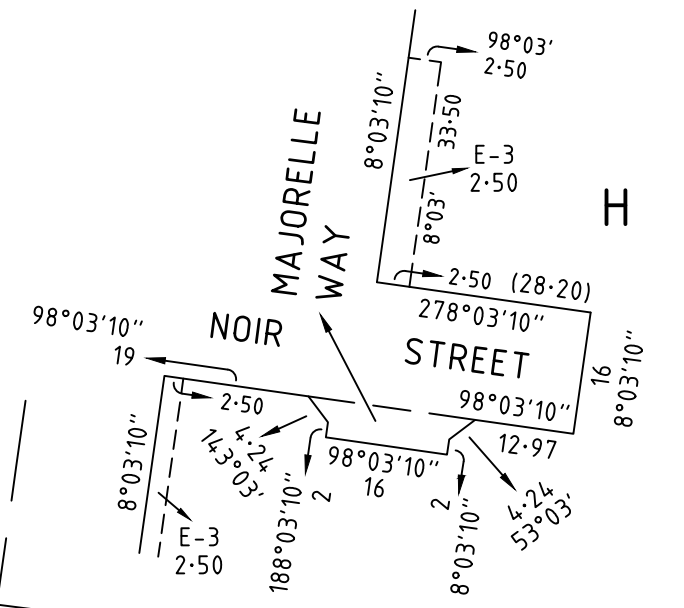
RES No.3 SEE SHEET 5

SEE DIAGRAM A TOP RIGHT

SEE DIAGRAM B

H 12.11ha

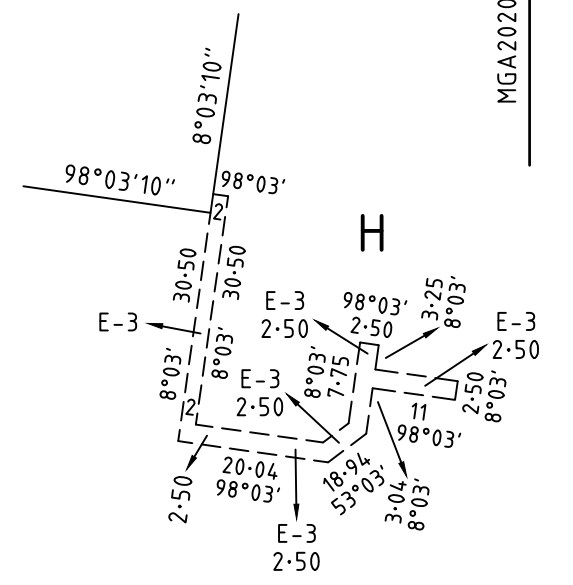
DIAGRAM A NOT TO SCALE



57

MGA2020 ZONE 55

DIAGRAM B NOT TO SCALE



BW Beveridge Williams
 development & environment consultants
 Melbourne ph : 03 9524 8888
 www.beveridgewilliams.com.au

SURVEYORS REFERENCE
2101578/25

SCALE 1 : 3000
30 0 30 60 90 120
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3
SHEET 2

LICENSED SURVEYOR: ADRIAN FREEMAN
VERSION 6, DATE: 24/08/2023

55

FOUNDATION AVENUE

PS913549G

97°28'50"
57.72

97°18'30"

RESERVE No.1

1999m²

162.08

277°29'30"

CERULEAN PROMENADE

CERULEAN

R1
1.107ha

PROMENADE

SEE SHEET 4



12.01

(63.11)

97°29'30"
16

97°29'30"

58

97°29'30"
16

3
4.26
52°46'

3
4.22
142°46'

3
52°46'

2507
554m²

2508
462m²

2509
530m²

2510
562m²

2523

2524

2525

2526

BLACKTHORN R1 RISE

CARMINE R1 VIEW

98°03'10"

2506
448m²

98°03'10"

2505
512m²

98°03'10"

2504
448m²

98°03'10"

2503
512m²

98°03'10"

RESERVE No.2

2048m²

CERISE AVENUE
R1

SEE SHEET 4

106m

8°03'10"

2.50

14

16

14

16

14

14

3.50

2.50

16

12.50

98°03'

2.50

(4.6)

188°03'09"

2.50

E-3

(32)

E-2

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

(32)

188°03'10"

188°03'10"

48

48

48

48

48

48

48

48

48

89.75

89.75

32

32

32

32

32

32

32

32

32

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

98°03'10"

SEE SHEET 2

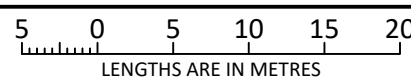


Beveridge Williams
development & environment consultants

www.beveridgewilliams.com.au

SURVEYORS REF
2101578/25

SCALE
1 : 500



ORIGINAL SHEET
SIZE: A3

SHEET 3

LICENSED SURVEYOR: ADRIAN FREEMAN
VERSION 6, DATE: 24/08/2023

FOUNDATION AVENUE

ERNSTBROOK DRIVE

55

RESERVE No.1

1999m²

162-08

277°29'30"

CERULEAN R1

1.107ha

PROMENADE

RESERVE No.3

R1

CERISE R1 AVENUE

DRIVE

H

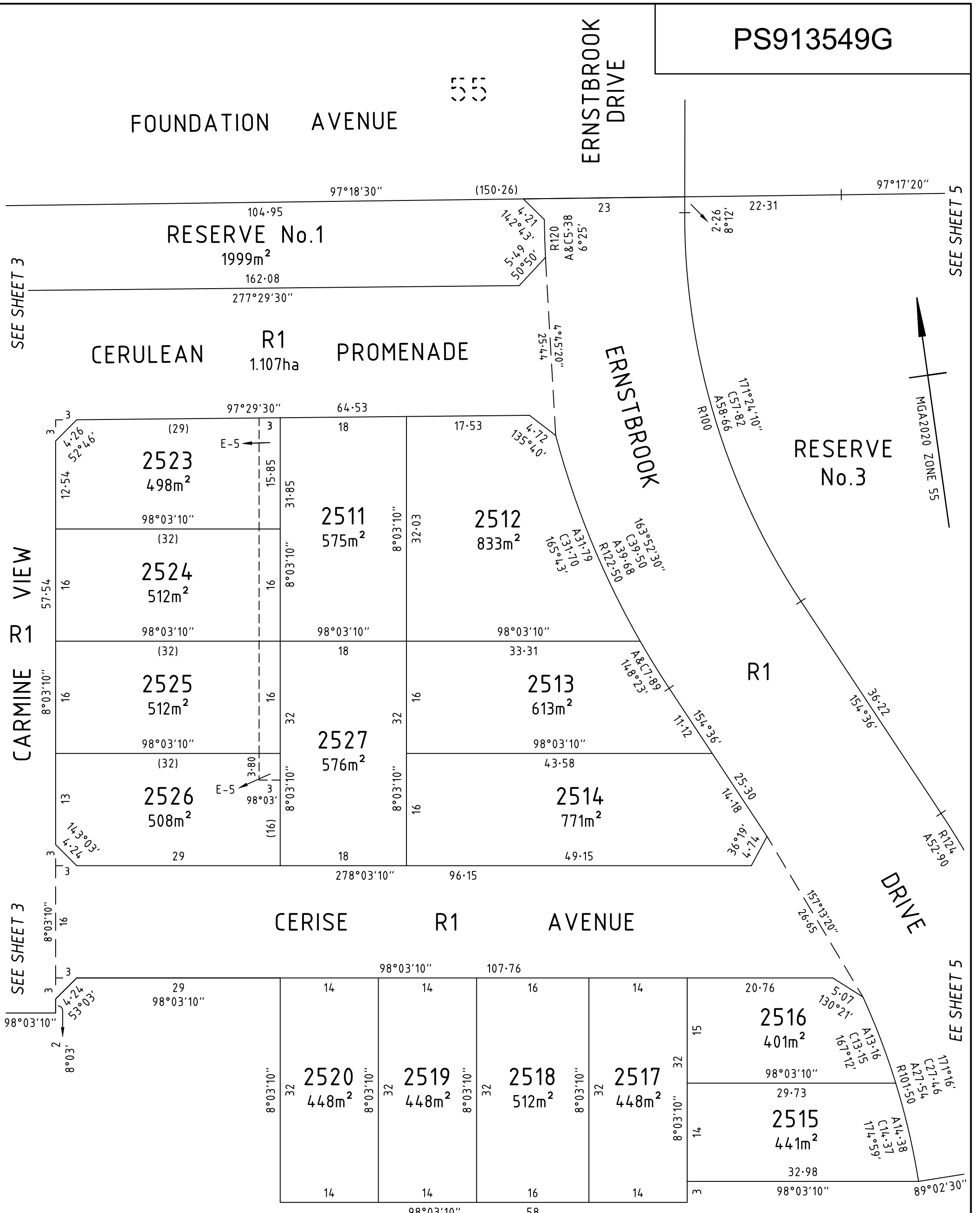
SEE SHEET 3

CARMINE R1 VIEW

SEE SHEET 3

SEE SHEET 5

SEE SHEET 5

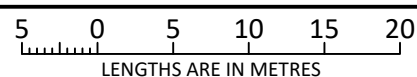


Beveridge Williams
development & environment consultants

www.beveridgewilliams.com.au

SURVEYORS REF
2101578/25

SCALE
1 : 500



ORIGINAL SHEET
SIZE: A3

SHEET 4

LICENSED SURVEYOR: ADRIAN FREEMAN
VERSION 6, DATE: 24/08/2023

55

FOUNDATION AVENUE

ERNSTBROOK DRIVE

97°17'20"
141.19

RES. No.1

CERULEAN PROMENADE R1

SEE SHEET 4

2512

2513

2514

CERISE R1 AVENUE

2516

2515

ERNSTBROOK DRIVE

RESERVE No.3
1.961ha

R1
1.107ha

H



57

SEE SHEET 2

BW Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS REFERENCE
2101578/25

SCALE 1 : 800
8 0 8 16 24 32
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3
SHEET 5

LICENSED SURVEYOR: ADRIAN FREEMAN
VERSION 6, DATE: 24/08/2023

CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:
 BURDENED LAND: LOTS 2501 TO 2527 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 2501 TO 2527 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:
 THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, STRUCTURE OR FENCE OTHER THAN A BUILDING, STRUCTURE OR FENCE IN ACCORDANCE WITH THE LATEST COPY OF THE RIVERFIELD 'PREMIUM' DESIGN GUIDELINES (INCLUDING ANY AMENDMENTS FROM TIME TO TIME) ENDORSED BY THE CASEY CITY COUNCIL UNDER PLANNING PERMIT No. PA22-0318;
- 2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OUTSIDE A BUILDING ENVELOPE APPLIED TO A LOT ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA22-0318 UNLESS ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE PERMITTED IN ACCORDANCE WITH THE LATEST RIVERFIELD 'PREMIUM' DESIGN GUIDELINES DETAILED IN CONDITION 1.

A COPY OF THE ENDORSED RIVERFIELD 'PREMIUM' DESIGN GUIDELINES AND BUILDING ENVELOPES ARE AVAILABLE AT: www.ngdd.com.au

VARIATION:
 ANY VARIATION TO THE ENDORSED BUILDING ENVELOPE PLAN OR CONSENT TO BUILD OUTSIDE THE ENDORSED BUILDING ENVELOPE PLAN FOR CONDITION 2 OF RESTRICTION 'A' WHERE ENCROACHMENTS OUTSIDE THE BUILDING ENVELOPE PLAN ARE NOT PERMITTED BY THE LATEST ENDORSED COPY OF THE RIVERFIELD 'PREMIUM' DESIGN GUIDELINES WILL REQUIRE APPROVAL FROM THE CASEY CITY COUNCIL AND RIVERFIELD DESIGN ASSESSMENT PANEL.

EXPIRY DATE:
 THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:
 BURDENED LAND: LOTS 2501 TO 2527 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 2501 TO 2527 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:
 THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED A DWELLING THAT IS LESS THAN TWO STOREYS IN HEIGHT WHERE A LOT IS IDENTIFIED AS DOUBLE STOREY (DS) ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA22-0318.

VARIATION:
 CONSENT TO VARY CONDITION 1) OF RESTRICTION 'C' WILL REQUIRE APPROVAL FROM THE RIVERFIELD DESIGN ASSESSMENT PANEL.

EXPIRY DATE:
 THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.